



**EAST LINDSEY DISTRICT COUNCIL  
WOODHALL SPA CONSERVATION AREA  
ADOPTED LOCAL DEVELOPMENT ORDER 2018**



**East Lindsey**  
DISTRICT COUNCIL

# WOODHALL SPA CONSERVATION AREA LOCAL DEVELOPMENT ORDER 2018

This order is adopted by East Lindsey District Council (“the Council”) under the powers conferred on the Council as the local planning authority for the land described in Schedule 1 by sections 61A – 61D and Schedule 4A of the Town and Country Planning Act 1990 (as amended) (“the Act”) and pursuant to the Town and Country Planning (Development Management Procedure) (England) Order 2015 and shall be known as the Woodhall Spa Conservation Area Local Development Order (“the Order”).

1. In this Order:
  - 1.1. Definitions in the Town and Country Planning (Use Classes) Order 1987 (as amended) apply to the Interpretation of this Order and references in this Order to a “Use Class” are accordingly a reference to the relevant Use Class as set out in the Town and Country Planning (Use Classes) Order 1987 (as amended); and
  - 1.2. **‘Development Specification’** means the Development Specification attached to this Order as Appendix 3.
  - 1.3. **‘ELDC LDO Drawings’** means the drawings attached to this Order as Appendix 2.
  - 1.4. **‘Rainwater Goods’** means any rainwater gutters, (including their rise & fall brackets or the painted timber fascia boards they are fixed to), and any rainwater hoppers and rainwater downpipes, including their associated brackets and/or other methods of fixing them to the building.
  - 1.5. **‘Principal Building’** means the main building on any planning unit and does not include any out buildings or other structures in the curtilage of any principal building.
  - 1.6. **‘Principal Elevation’** means the elevation of any building that faces a highway or other place that the public have access to as of right.
  - 1.7. **‘Shop Window’** means the window or other opening of a building used to display or allow passing members of the public to view the goods or learn about the services offered by the user of any building within the following Use Classes; sui generis, A1 (Shops), A2 (Financial and Professional), A3 (Restaurant or Café), A4 (Drinking Establishment), A5 (Hot Food Takeaway), B1 (Business), B2 (General Industrial), B8



(Storage or Distribution), D1 (Non – Residential Institution) or D2 (Assembly and Leisure) operating from those premises.

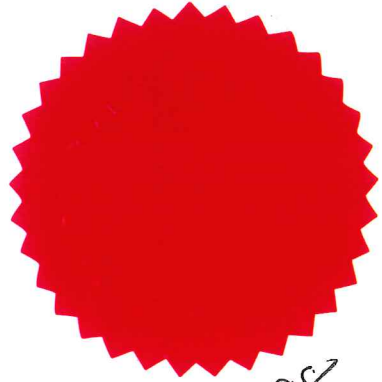
- 1.8. **'Shop Door'** means the ground floor door or other opening of a building used to display or allow passing members of the public to view the goods or learn about the services offered by the user of any building within the following Use Classes; sui generis, A1 (Shops), A2 (Financial and Professional), A3 (Restaurant or Café), A4 (Drinking Establishment), A5 (Hot Food Takeaway), B1 (Business), B2 (General Industrial), B8 (Storage or Distribution), D1 (Non – Residential Institution) or D2 (Assembly and Leisure) operating from those premises and includes the entrance to those premises.
- 1.9. **'Spa Baths'** means the historic Woodhall Spa Pump Room and associated spa buildings on Coronation Road in Woodhall Spa.
- 1.10. **'Kinema in the Woods'** means the historic Woodhall Spa cinema and associated buildings on Coronation Road in Woodhall Spa.
- 1.11. **'The Tea House in the Woods'** means the historic tea house and associated buildings on Coronation Road in Woodhall Spa.
- 1.12. **'The Cottage Museum'** means the historic 'pre-fabricated' 'Boulton and Paul' cottage museum and associated buildings on Iddesleigh Road in Woodhall Spa.
2. Subject to the provisions of this Order, planning permission is hereby granted for the types of development set out in Schedule 2 subject to the relevant exceptions, limitations or conditions specified in the relevant Part in Schedule 2.
3. In the event that this Order is withdrawn or expires and a material operation has been initiated in respect of any development permitted by this Order at the time this Order expires or is withdrawn, that said development may be lawfully completed, subject to any transitional arrangements.
4. This Order comes into force on the date on which it is made as indicated below and subject to the Council's power to revoke this Order under s.61(a) (6) of the Act, will remain in force.

THE COMMON SEAL of EAST LINDSEY  
DISTRICT COUNCIL was affixed to this Order in  
the presence of



Authorised Officer

Acting Chief Exec.



13198



## **Schedule 1**

Land within the Woodhall Spa Conservation Area, Lincolnshire being shown edged red on the map sealed by the Council and bearing the legend 'This is the map referred to in the East Lindsey District Council (Woodhall Spa Conservation Area) Local Development Order 2018' at Appendix 1.

## **Schedule 2**

### **PERMITTED DEVELOPMENT**

#### **PART A - THE REPLACEMENT OR ALTERATION OF ANY WINDOW IN AN EXTERNAL WALL OR ON ANY OTHER EXTERNAL VERTICAL SURFACE OF ANY BUILDING**

##### **Permitted development**

- A. The replacement or alteration of any window in an external wall or on any other external vertical surface of any Building.

##### **Development is not permitted if:**

- A.1 Development is not permitted by Part A if –
- (a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.
  - (b) The window being replaced or altered is a Shop Window.
  - (c) Notwithstanding the definition of Shop Window above the application of this part to any church, former church, church hall, town or village meeting room or the Spa Baths the Kinema in the Woods, the Teahouse in the Woods or the Cottage Museum is not permitted.

##### **Conditions:**

- A.2 The replacement or alteration shall only be constructed in accordance with the Development Specification.
- A.3 The replacement or alteration must be of the same height and width as the original and must not involve any alteration of the opening in the wall or vertical surface other than in accordance with the Development Specification.

## **PART B - THE REPLACEMENT OR ALTERATION OF ANY DOOR IN AN EXTERNAL WALL OR ON ANY OTHER EXTERNAL VERTICAL SURFACE OF ANY BUILDING**

### **Permitted development**

- B. The replacement or alteration of any door in an external wall or on any other external vertical surface of any Building.

### **Development is not permitted if:**

- B.1 Development is not permitted by Part B if –
- (a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.
  - (b) The door being replaced or altered is a Shop Door.
  - (c) Notwithstanding the definition of Shop Door above, the application of this part to any church, former church, church hall, town or village meeting room or the Spa Baths, the Kinema in the Woods, the Teahouse in the Woods or the Cottage Museum is not permitted.
  - (d) the installation or upgrading of doors is such as to enclose the entrance to what are, or were originally, open porches.

### **Conditions:**

- B.2 The replacement or alteration shall only be constructed in accordance with the Development Specification.
- B.3 The replacement or alteration must be of the same height and width as the original and must not involve any alteration of the opening in the wall or vertical surface otherwise than in accordance with the Development Specification.

## **PART C - THE REPLACEMENT OF THE ROOF ON ANY BUILDING**

### **Permitted development**

- C. The replacement or alteration of the roof on any building.

### **Development is not permitted if:**

- C.1 Development is not permitted by Part C if –

- (a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.
- (b) The building is a church, former church, church hall, town or village meeting room or the Spa Baths, the Kinema in the Woods, the Teahouse in the Woods or the Cottage Museum.

**Conditions:**

- C.2 Where the roof being replaced or altered shall only be replaced or altered in accordance with the Development Specification.

**PART D - THE REPLACEMENT OR INSTALLATION OF RAINWATER GOODS**

**Permitted development**

- D. The replacement or installation of Rainwater Goods.

**Development is not permitted if:**

- D.1 Development is not permitted by Part D if –

- (a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.
- (b) The building is a church, former church, church hall, town or village meeting room or the Spa Baths, the Kinema in the Woods, the Teahouse in the Woods or the Cottage Museum.

**Conditions:**

- D.2 The Rainwater Goods shall only be constructed in accordance with the Development Specification.

**PART E - THE ERECTION OR INSTALLATION ALONG THE BOUNDARY OF THE PRINCIPAL ELEVATION AT NO'S. 1, 2, 3, 4, 5, 6, 7 OR 8 CORNWALL TERRACE, TATTERSHALL ROAD OR FRIESTON HOUSE, 1 VICTORIA AVENUE, WOODHALL SPA OF A GARDEN GATE AND GATE POSTS**

**Permitted development**

- E. The erection, installation, maintenance or improvement along the boundary of the principal elevation of any premises of a garden gate and gate posts.



**Development is not permitted if:**

E.1 Development is not permitted by Part E if –

(a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.

(b) The building is not known as No. 1, 2, 3, 4, 5, 6, 7 or 8 Cornwall Terrace, Tattershall Road or Frieston House 1 Victoria Avenue Woodhall Spa.

**Conditions:**

E.2 Only a garden gate and posts constructed in accordance with ELDC LDO Drawing No.5 shall be erected, installed, constructed, maintained, improved or otherwise altered.

E.3. Only a garden gate and posts constructed in accordance with the Design Specification shall otherwise be installed constructed maintained improved or otherwise altered.

E.4. No garden gate or gate post shall be installed where there has not previously been a garden gate or gate post.

E.5. No other means of built enclosure shall be installed.

**PART F - THE ERECTION OR INSTALLATION ALONG THE BOUNDARY OF THE PRINCIPAL ELEVATION AT NO'S. 9 AND 11 WITHAM ROAD, WOODHALL SPA OF A WALL WITH IRON RAILINGS AND IRON GARDEN GATE AND GATE POSTS.**

**Permitted development**

F. The erection, installation, maintenance or improvement along the boundary of the principal elevation of any premises of a wall with iron railings and iron gates and posts.

**Development is not permitted if:**

F.1 Development is not permitted by Part F if –

(a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.

(b) The building is not known as No. 9 or 11 Witham Road, Woodhall Spa.

**Conditions:**

- F.2 Only a wall with iron railings constructed in accordance with ELDC LDO Illustration No.6 of Appendix 2 shall be installed, constructed, maintained, improved or otherwise altered.
- F.3. Only a wall with iron railings and iron gates and posts constructed in accordance with the Development Specification shall otherwise be installed, constructed, maintained, improved or otherwise altered.
- F.4. No wall, or iron railings, or iron garden gate shall be installed where there has not previously been a wall, iron railings or iron garden gate.
- E.5. No other means of built enclosure shall be installed.

**PART G - THE ERECTION OR INSTALLATION ALONG THE BOUNDARY OF THE PRINCIPAL ELEVATION AT NO'S. 15, 17, 19, 21 AND 23 WITHAM ROAD, WOODHALL SPA OF A WALL WITH IRON RAILINGS AND IRON GARDEN GATES.**

**Permitted development**

- G. The erection, installation, maintenance or improvement along the boundary of the principal elevation of any premises of a wall with iron railings and iron gates and posts.

**Development is not permitted if:**

- G.1 Development is not permitted by Part G if –
  - (a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.
  - (b) The building is not known as No. 15, 17, 19, 21 or 23 Witham Road, Woodhall Spa.

**Conditions:**

- G.2 Only a wall with iron railings constructed in accordance with ELDC LDO Illustration No. 7 (Appendix 2) shall be installed, constructed, maintained, improved or otherwise altered.
- G.3. Only a gate constructed in accordance with the Development Specification shall otherwise be installed, constructed, maintained, improved or otherwise altered.
- G.4. No wall, or iron railings or garden gate shall be installed where there has not previously been a wall, iron railings or iron garden gate.
- G.5. No other means of built enclosure shall be installed.

**PART H - THE ERECTION OR INSTALLATION ALONG THE BOUNDARY OF THE PRINCIPAL ELEVATION AT NO'S. 37 AND 39 WITHAM ROAD, WOODHALL SPA OF A WALL WITH IRON RAILINGS AND IRON GARDEN GATES.**

**Permitted development**

H. The erection, installation, maintenance or improvement along the boundary of the principal elevation of any premises of a wall with iron railings.

**Development is not permitted if:**

H.1 Development is not permitted by Part H if –

(a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or in the equivalent provision of any Act revoking and re-enacting it with or without modification.

(b) The building is not known as No. 37 or 39 Witham Road, Woodhall Spa.

**Conditions:**

H.2 Only a wall with iron railings constructed in accordance with ELDC LDO Illustration No.8 (Appendix 2) shall be installed, constructed, maintained, improved or otherwise altered.

H.3. Only a gate constructed in accordance with the Development Specification shall otherwise be installed, constructed, maintained, improved or otherwise altered.

H.4. No wall, or iron railings or garden gate shall be installed where there has not previously been a wall, iron railings or iron garden gate.

H.5. No other means of built enclosure shall be installed.

**PART I - THE ERECTION OR INSTALLATION ALONG THE BOUNDARY OF THE PRINCIPAL ELEVATION AT NO. 47 WITHAM ROAD, WOODHALL SPA OF A WALL WITH IRON RAILINGS AND IRON GARDEN GATE.**

**Permitted development**

I. The erection, installation, maintenance or improvement along the boundary of the principal elevation of any premises of a wall with iron railings.

**Development is not permitted if:**

I.1 Development is not permitted by Part I if –

(a) The property is or is within the curtilage of a listed building, as defined in Section I (5) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) or



in the equivalent provision of any Act revoking and re-enacting it with or without modification.

(b) The building is not known as No. 47 Witham Road, Woodhall Spa.

**Conditions:**

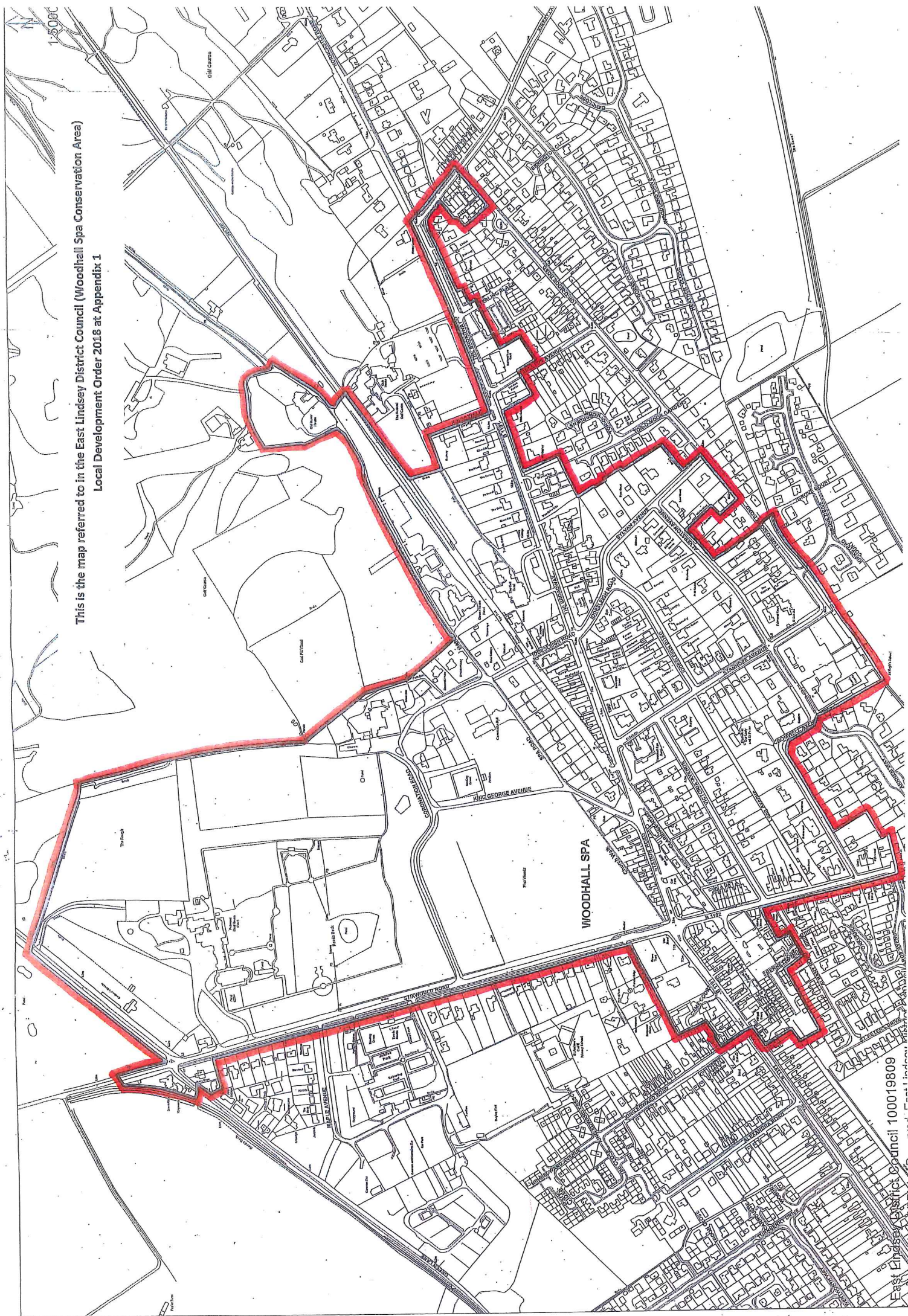
- I.2 Only a wall with iron railings constructed in accordance with ELDC LDO Illustration No.9 (Appendix 2) shall be installed, constructed, maintained, improved or otherwise altered.
- I.3. Only a gate constructed in accordance with the Development Specification shall otherwise be installed, constructed, maintained, improved or otherwise altered.
- I.4. No wall, or iron railings or garden gate shall be installed where there has not previously been a wall, iron railings or iron garden gate.
- I.5. No other means of built enclosure shall be installed.

**Appendix 1**

**Plan showing the land within the Woodhall Spa Conservation Area**



This is the map referred to in the East Lindsey District Council (Woodhall Spa Conservation Area)  
Local Development Order 2018 at Appendix 1



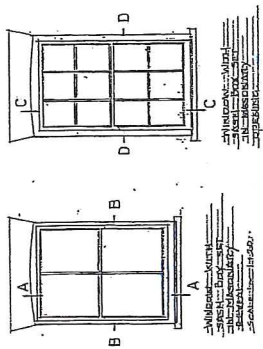


## **Appendix 2**

**ELDC LDO Drawing No. 1 – showing Details of Traditional Timber Vertically Sliding Sash Windows. (NB large scale drawings are available separately to download)**

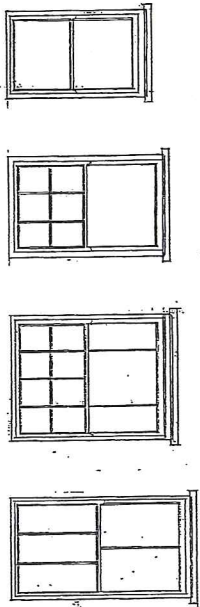
SCALES - FULL SIZE AND 1:20 (AT DRAWING SIZE A1), E.L.D.C. L.D.O. DRAWING No.1.

DETAILS OF TRADITIONAL TIMBER VERTICAL SASH WINDOWS

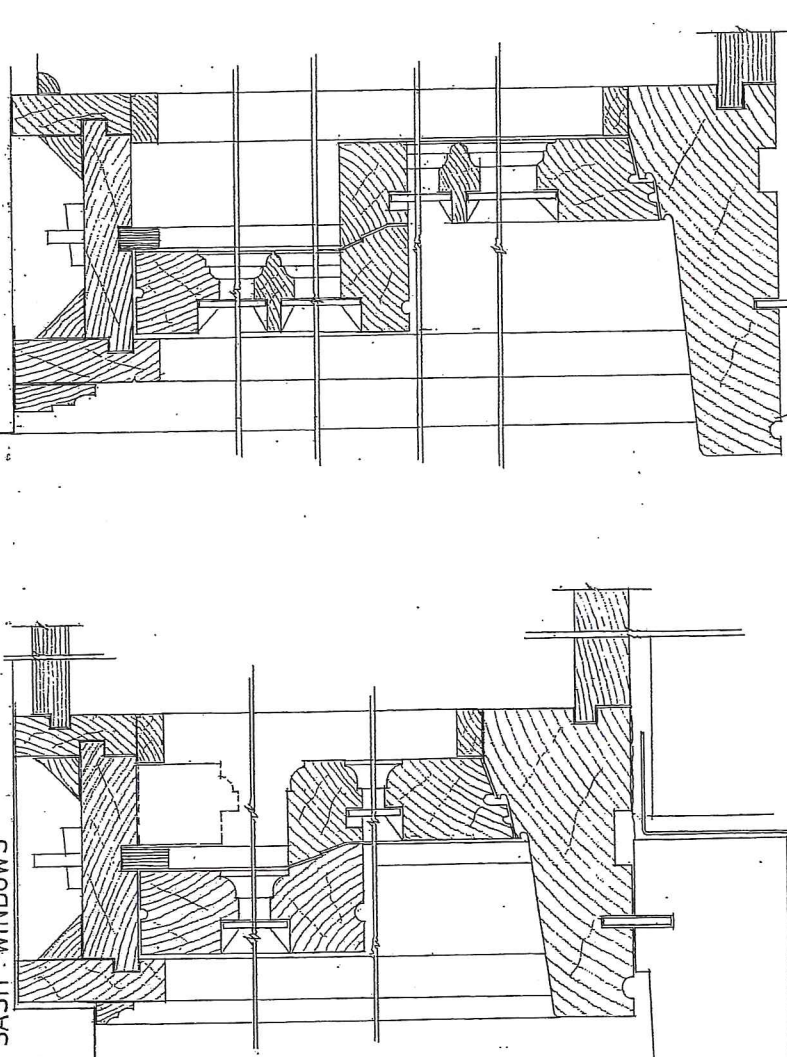


WINDOES WITH  
SASHES  
SASHES  
SASHES

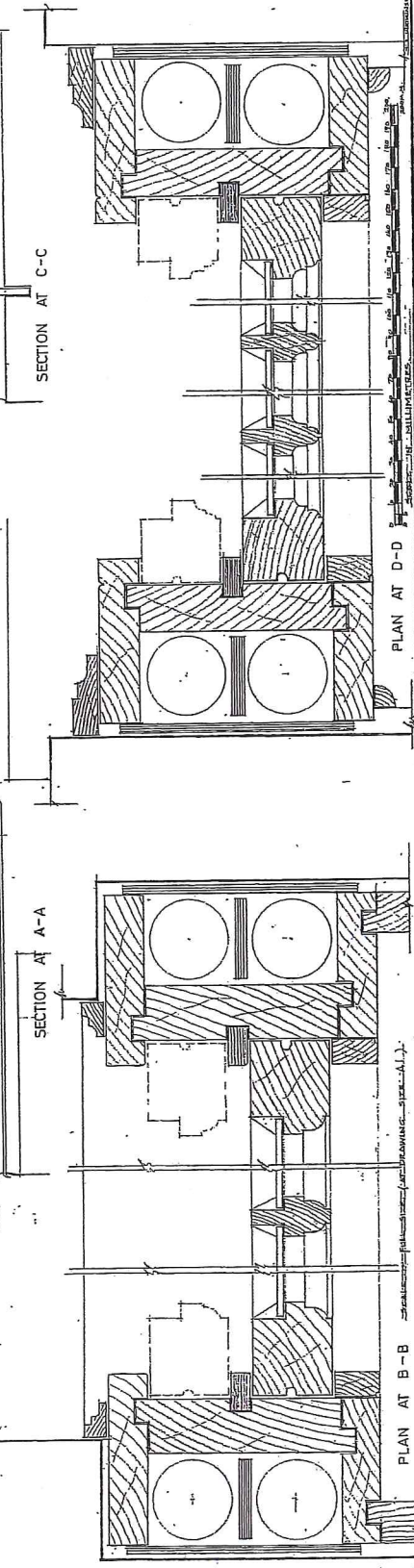
WINDOES WITH  
SASHES  
SASHES  
SASHES



ELEVATIONS OF VARIOUS LOCAL WINDOW GLAZING BAR CONFIGURATIONS.



SECTION AT C-C



SECTION AT A-A

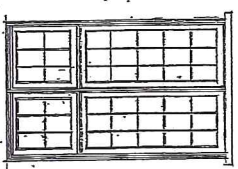
PLAN AT D-D

PLAN AT A-A

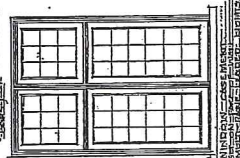
**ELDC LDO Drawing No. 2 – showing Details of Traditional Timber Casement Windows  
(NB large scale drawings are available separately to download)**



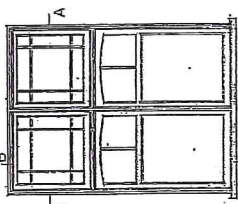
DETAILS OF TRADITIONAL TIMBER CASEMENT WINDOWS



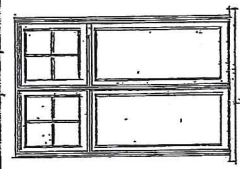
WINDOW-- CASEMENT  
WITH DOUBLE HUNG  
GLASS UNITS  
WITH DECORATIVE  
LINTEL AND SILL



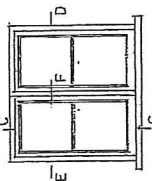
WINDOW-- CASEMENT  
WITH DOUBLE HUNG  
GLASS UNITS  
WITH DECORATIVE  
LINTEL AND SILL



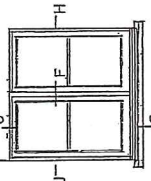
WINDOW-- CASEMENT  
WITH DOUBLE HUNG  
GLASS UNITS  
WITH DECORATIVE  
LINTEL AND SILL



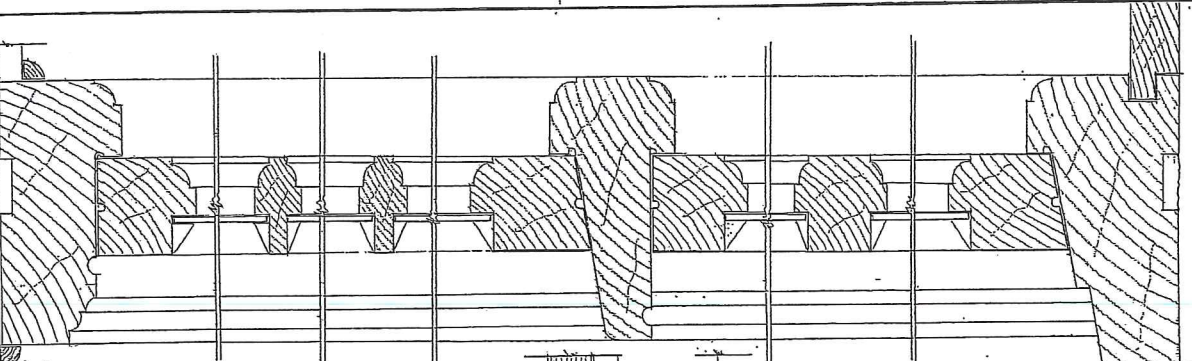
WINDOW-- CASEMENT  
WITH DOUBLE HUNG  
GLASS UNITS  
WITH DECORATIVE  
LINTEL AND SILL



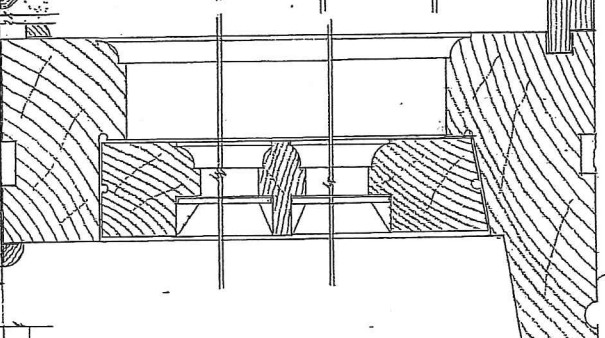
WINDOW-- CASEMENT  
WITH DECORATIVE  
LINTEL AND SILL



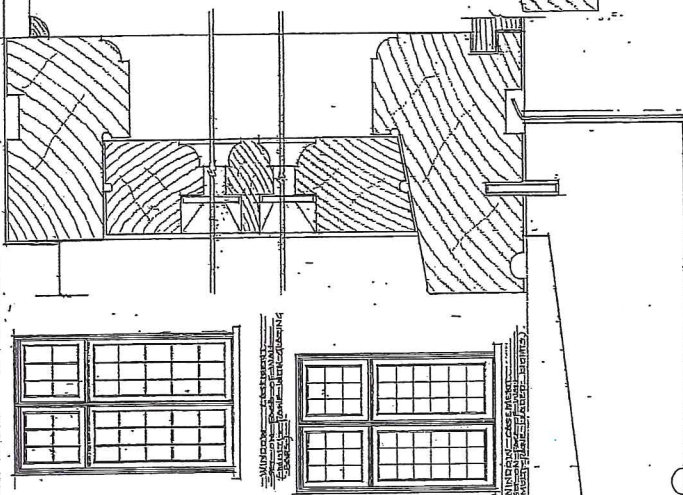
WINDOW-- CASEMENT  
WITH DECORATIVE  
LINTEL AND SILL



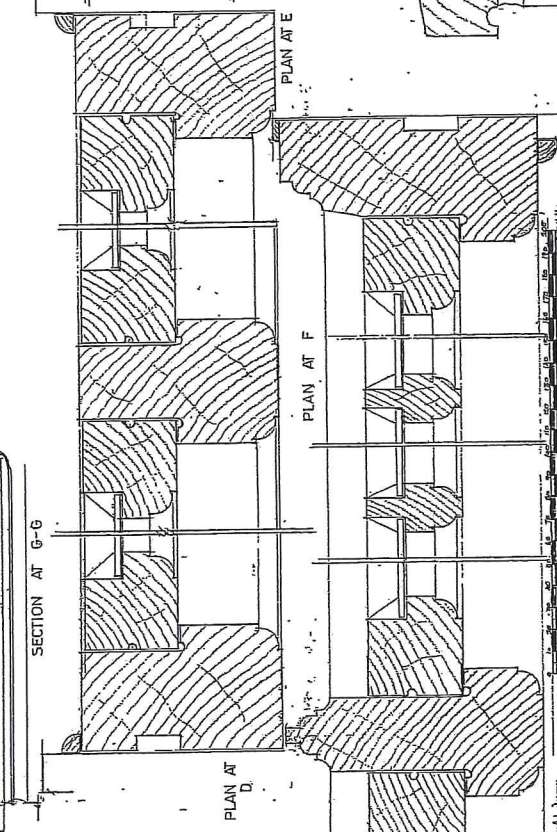
SECTION AT B-B



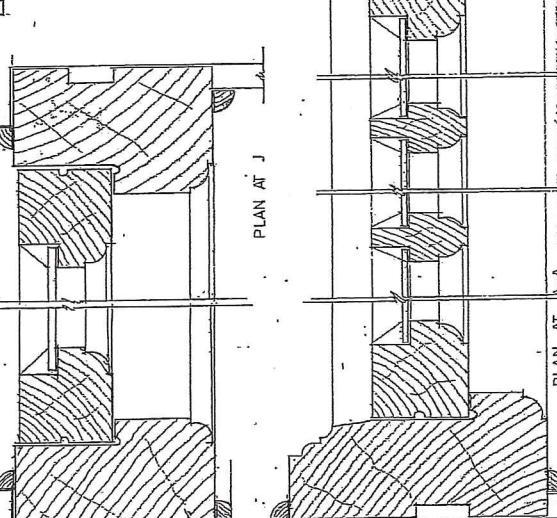
SECTION AT C-C



SECTION AT G-G



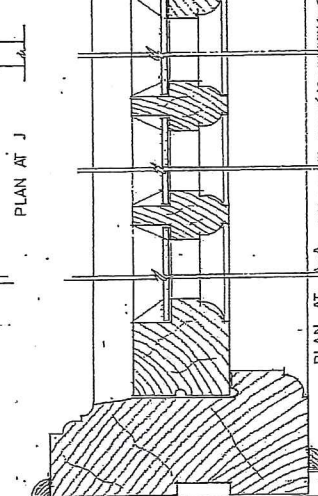
PLAN AT E



PLAN AT F



PLAN AT H



PLAN AT J

PLAN AT A-A

PLAN AT D

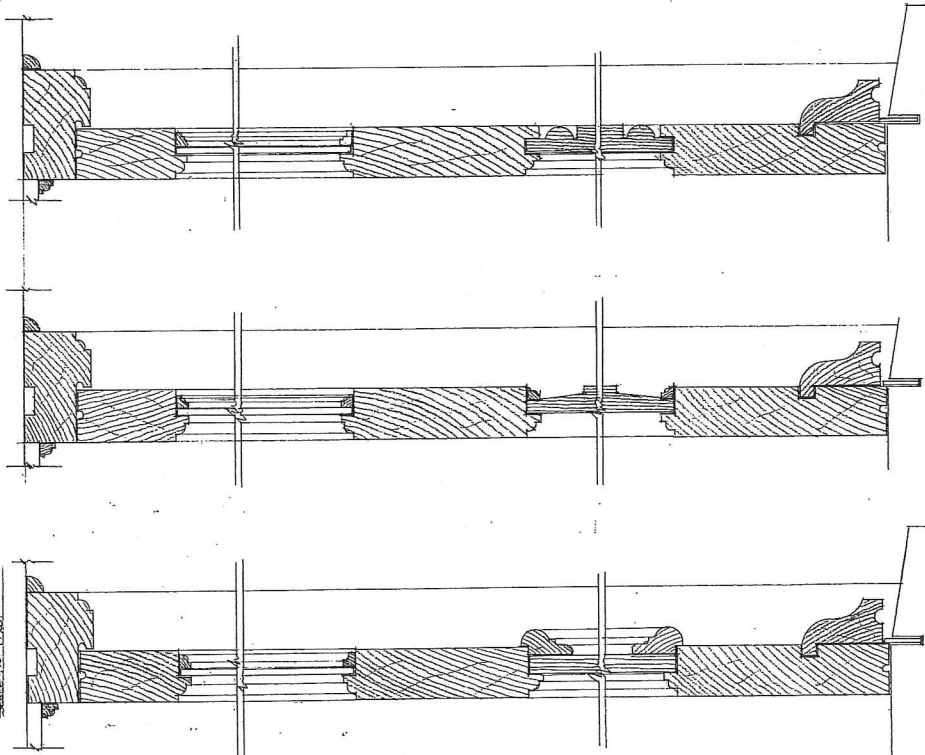
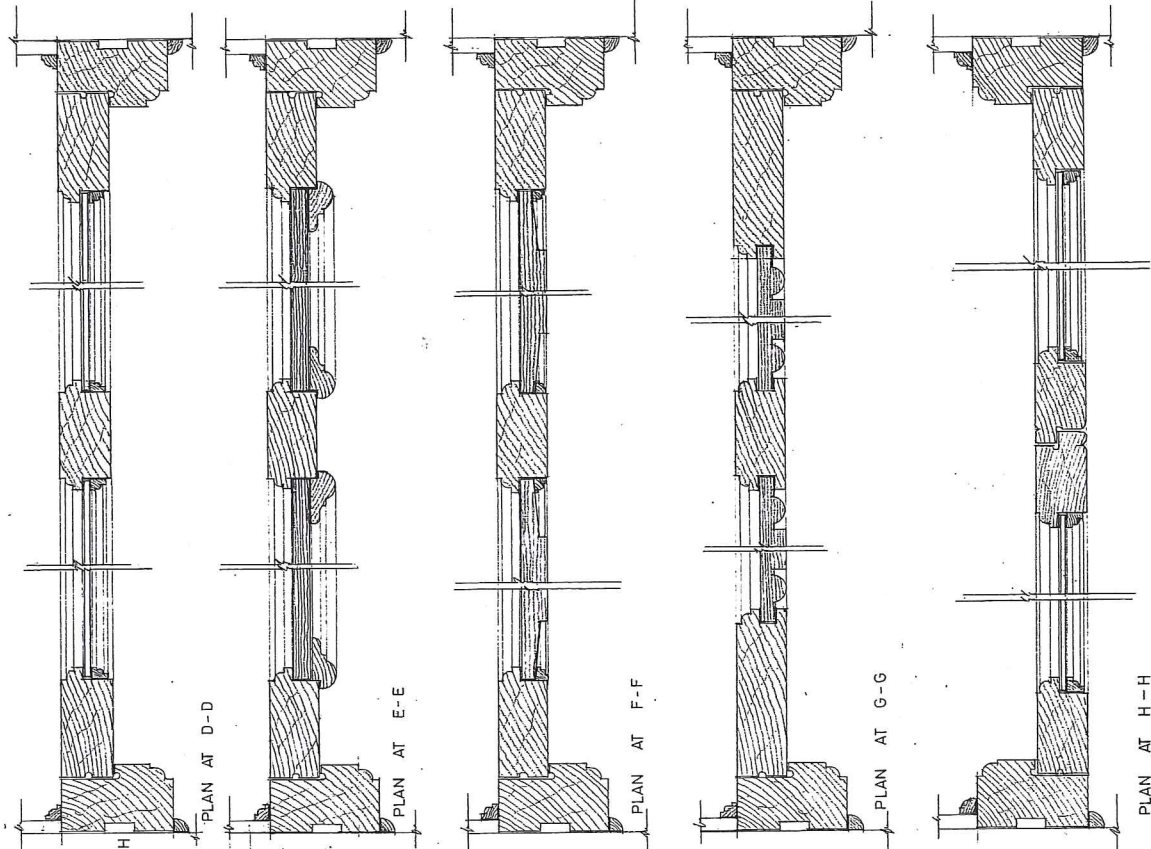
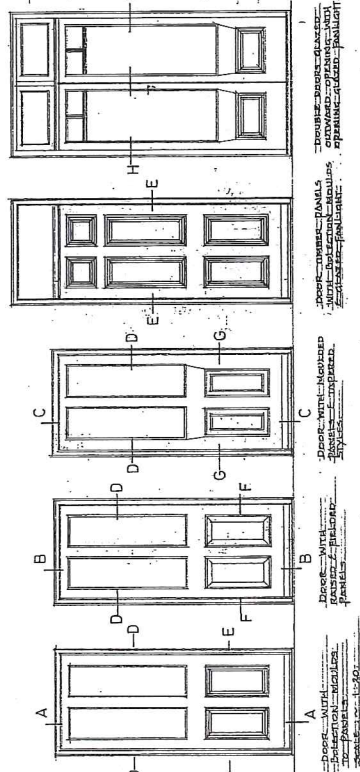
PLAN AT F

PLAN AT E

SECTION AT B-B

**ELDC LDO Drawing No. 3 – showing Details of Traditional Timber External Doors and Frames. (NB large scale drawings are available separately to download)**

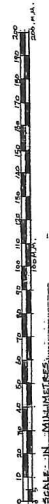
# DETAILS OF TRADITIONAL TIMBER EXTERNAL DOORS AND FRAMES



SCALE: 1/8" = 1'-0" (FOR FINISHING, SEE A1)

SCALE: 1/8" = 1'-0" (FOR FINISHING, SEE A1)

E.L.D.C. LDO DRAWING No. 3





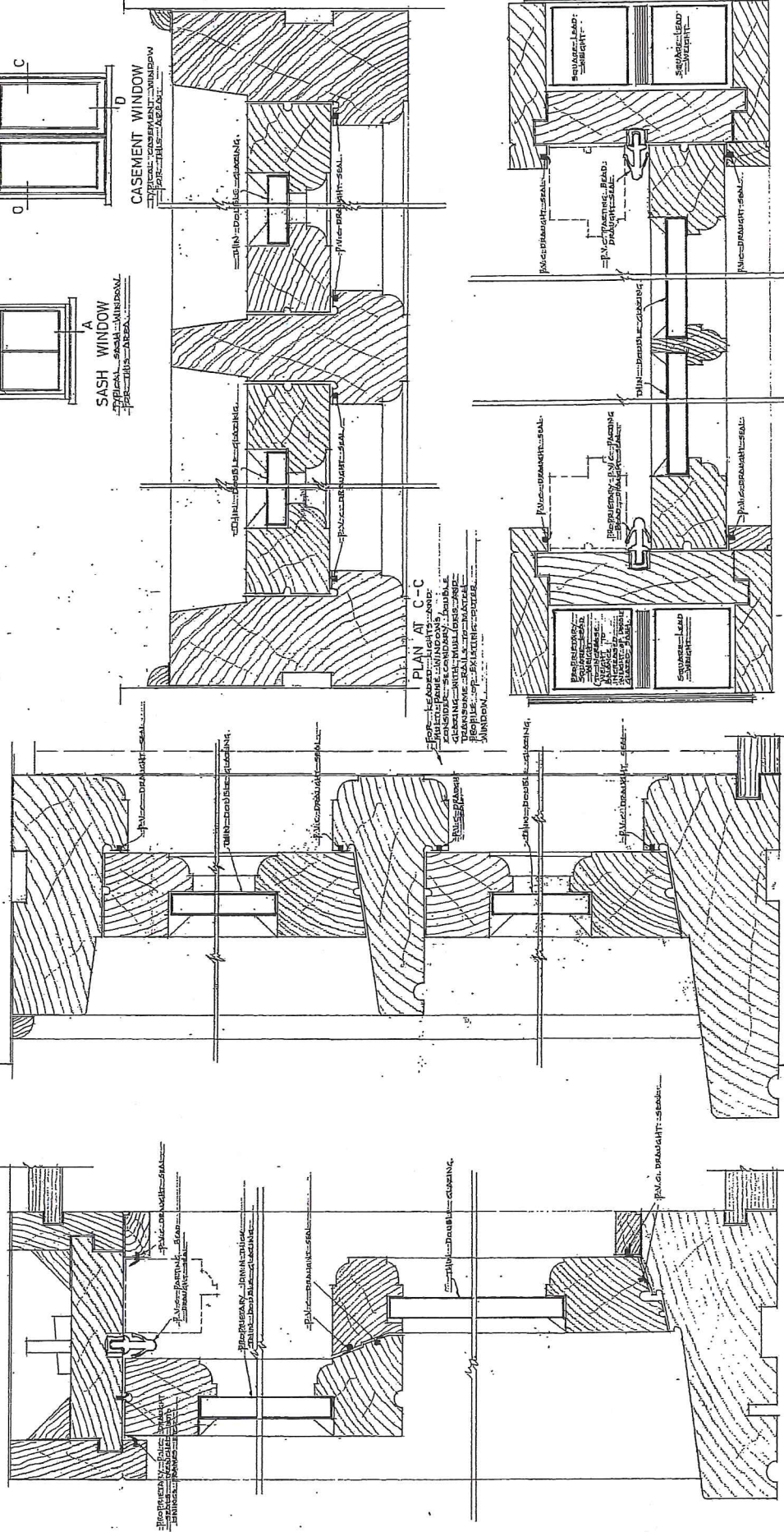
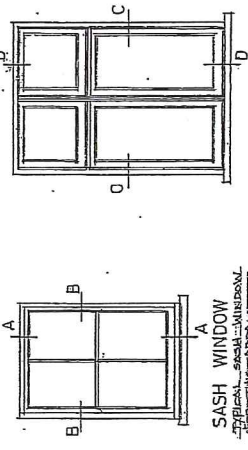
**ELDC LDO Drawing No. 4 – showing Details of Traditional Timber Casement and Vertically Sliding Sash Windows with suggested draught sealing and thin double glazing.**

**(NB large scale drawings are available separately to download)**



# DETAILS OF TRADITIONAL TIMBER CASEMENT AND SASH WINDOWS

SUGGESTED DRAUGHT SEALING & THIN DOUBLE CASING WITH TRADITIONAL FRAMING PROFILES



SECTION AT A-A

SECTION AT D-D

PLAN AT C-C

PLAN AT B-B

SCALE: FULL SIZE (AT DRAWING SIZE A1)

E.L.D.C. LDO DRAWING No.4



ALL TIMBER CONSTRUCTION WITH GLASS TO BE CONCRETE-TEAK.  
 ALL JOINTS TO HAVE HARDWOOD DOWEL PIN JOINTS (PER METAL  
 SCREWS OR NAILS)  
 HARDWOOD JOINTS TO BE HARDWOOD JOINTS (PER METAL  
 SCREWS OR NAILS)  
 HARDWOOD JOINTS TO BE HARDWOOD JOINTS (PER METAL  
 SCREWS OR NAILS)  
 HARDWOOD JOINTS TO BE HARDWOOD JOINTS (PER METAL  
 SCREWS OR NAILS)

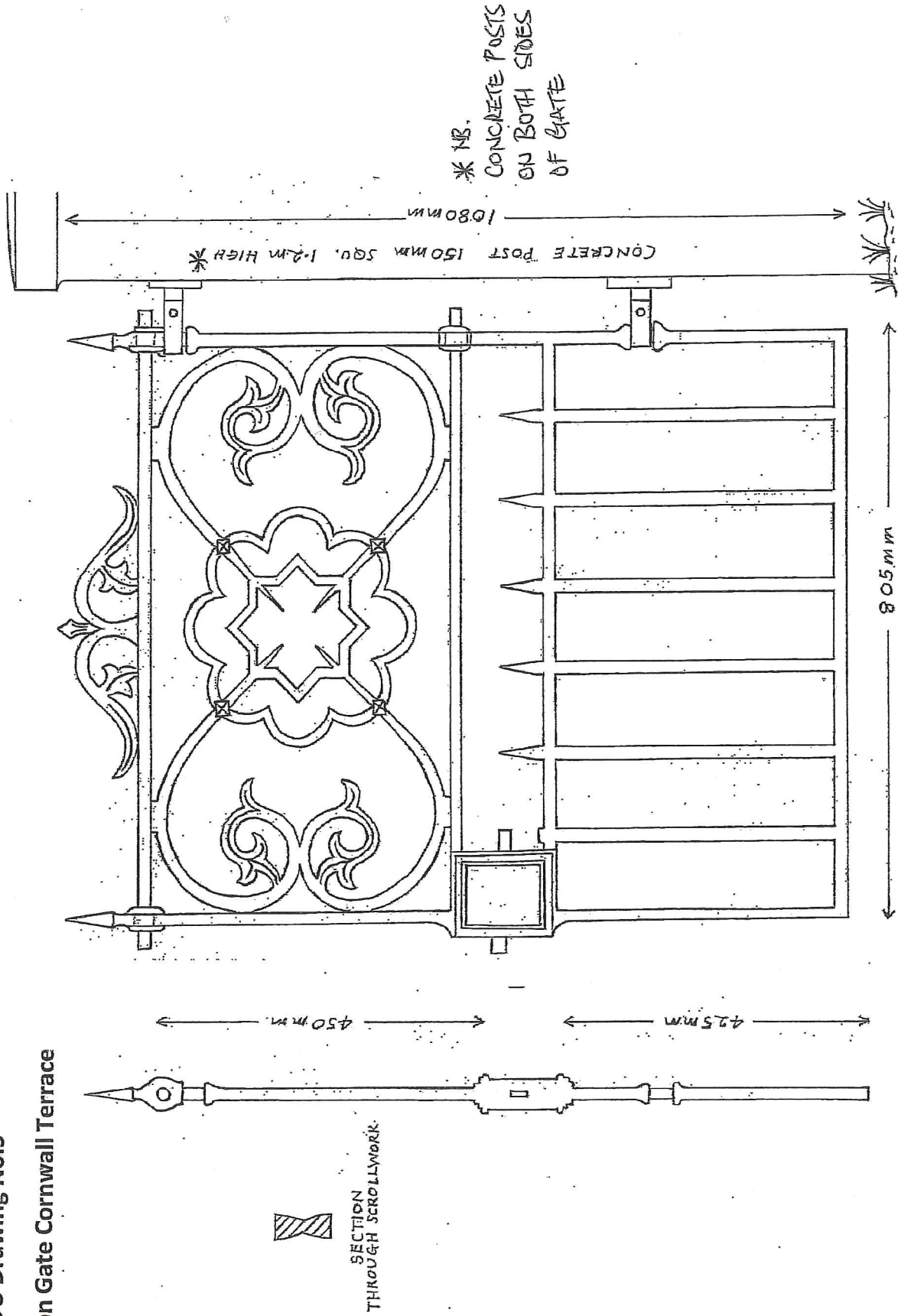
**ELDC LDO Drawing No. 5 – showing Details of an Adolphus Came Gate  
(NB. A larger scale drawing is available separately to download)**



Woodhall Spa Conservation Area

ELDC LDO Drawing No.5

Cast Iron Gate Cornwall Terrace



**ELDC LDO Illustration No. 6 (a, b & c) – showing details of a surviving wall with iron railings and gates at No. 9 - 11 Witham Road, Woodhall Spa**



**(a)**



**(b)**



**(c)**



**ELDC LDO Illustration No. 7 (a, b & c) – showing details of a surviving wall with iron railings and gates at Nos. 15, 17, 19, Witham Road, Woodhall Spa**



**(a)**



**(b)**



**(c)**



**ELDC LDO Illustration No. 8 (a & b) – showing details of a surviving partial wall with iron railings at No. 39 Witham Road, Woodhall Spa**



**(a)**



**(b)**



**ELDC LDO Illustration No. 9 (a, b & c) - showing details of a surviving wall, iron railings and gates at No. 47 (Hawthorns) Witham Road, Woodhall Spa**



**(a)**



**(b)**



**(c)**



## **Appendix 3**

### **Development Specification**

#### **Windows**

- 1. Schedule 2 Part A – The replacement or alteration of any window in any external wall or on any other vertical surface of any building.**
- 1.1. The LDO permits the installation, reinstatement or restoration (of missing features) to (enhance) or preserve the original appearance of the building using the profiles, method of construction, dimensions and proportions specified in the drawings at Appendix 2.

#### **Painted timber, double hung vertically sliding sash windows**

- 1.2. ELDC LDO Drawing No.1. shows traditional painted timber, double hung vertically sliding sash windows. The use of the joinery details shown in ELDC LDO Drawing No.1 is permitted for use in the openings of buildings which have or originally had a double hung, vertically sliding sash window of any of the types illustrated on ELDC LDO Drawing No.1. That is to say is not intended that a window be replaced with a window on the drawings appended to the LDO if this would not be historically accurate.
- 1.3. The replacement painted timber windows shall be an exact copy of the window which exists or originally existed in the opening of the building and shall be constructed as illustrated in ELDC LDO Drawing No.1 to ensure the external appearance of the existing or originally existing traditional painted timber, double hung vertically sliding sash windows are an authentic copy (allowing for the actual size, scale and proportions of the opening and window).

#### **Painted timber, casement windows**

- 1.4. ELDC LDO Drawing No.2. shows traditional painted timber, casement windows. The use of the joinery details shown in ELDC LDO Drawing No.2 is permitted for use in the openings of buildings which have or originally had a traditional painted timber, casement window of any of the types illustrated on ELDC LDO Drawing No.1. That is to say it is not intended that a window be replaced with a window on the drawings appended to the LDO if this would not be historically accurate.
- 1.5. The replacement painted timber windows shall be an exact copy of the window which exists or originally existed in the building and shall be constructed as illustrated in ELDC LDO Drawing No.2 to ensure the external appearance of the existing or originally existing traditional painted timber, casement windows are an authentic copy (allowing for the actual size, scale and proportions of the opening and window).

#### **Finish**

- 1.6. All external timber, ironwork and previously painted panels shall be painted using an appropriate exterior paint which respects the age and character of the property and preserves or enhances the appearance and character of the conservation area.



- 1.7. As a guide, old photographs suggest that originally darker shades and colours were popular for painted surfaces. However, very early in the C20, the colours which predominate today, and have become characteristic of the conservation area, namely black for doors, timber frames, barge boards, railings, rainwater goods etc and white for windows, infill panels, porches, verandas, balustrading, fascias, decorative features and even some doors, gates and bargeboards, was becoming commonplace.

### **Thermal Improvements**

- 1.8. If the windows can accommodate improvements to their thermal performance, such as draught-proofing seals and thin double glazing, this can be integrated in accordance with ELDC LDO Drawing No.4 only provided the external appearance of the window is not altered as a result.
- 1.8.1. NOTE: Draught-proofing seals can be fitted to most windows, whereas the slim double glazing, no more than 10 - 12mm thick overall, including the glass and sealed units, is easier to install without altering the external appearance of the window where there are no glazing bars or leaded lights. Where double hung vertically sliding sash windows have a large number of panes, the added weight of the glass and thickness of the glazing bars can be difficult to counter-balance and/or can affect the appearance and proportions of each pane and thereby the external appearance of the window.
- 1.8.2. It should be noted that many properties in the Woodhall Spa area have, or are advised to have, secondary glazing – which could be double glazed – to reduce the noise from the frequent flying of military aircraft into, from and around, RAF Coningsby. Thoughtfully installed secondary glazing does not usually affect the external appearance of buildings and would not normally require formal approval unless the building is listed. In any event the Woodhall Spa LDO cannot apply to a Listed Building.

### **Window Openings**

- 1.9. Changes to the shape and size of window openings in any external wall or on any other vertical surface of any building are only permitted where such work is necessary to reinstate the original shape and size of the window.
- 1.10. This will primarily affect brick and other masonry walls but may include the reinstatement of windows in dormers. All reinstated window openings shall be constructed to exactly match the original window openings in terms of their appearance, materials, construction, shape and dimensions.
- 1.10.1. In the case of window openings in brickwork, the size, colour and finish of the clay bricks, the coursing, pattern and bond of the external brickwork and the mortar mix, finished colour and appearance of the mortar, must exactly match the original brickwork and mortar.

- 1.10.2. All heads/lintels over the exterior of the window opening and all sills forming the protective external weathering/drip at the bottom of the opening shall exactly match the construction, dimensions, profile, materials and appearance of the original heads and sills.
- 1.10.3. In the case of windows in other external walls or vertical surfaces other than brickwork, such as render (smooth or roughcast), exposed (decorative or structural) timber or in leadwork or terra cotta, the reinstated window opening shall exactly match the construction, dimensions, profile, materials, finish and appearance of the original openings.

## **Doors**

2. **Schedule 2 Part B – The replacement or alteration of any door in an external wall or on any other external vertical surface of any Building.**
- 2.1. The LDO permits the installation or upgrading of doors which reinstate (enhance) or preserve the original appearance of the building using the profiles, method of construction, dimensions and proportions specified in ELDC LDO Drawing No.3 at Appendix 2
- 2.2. It is not practicable to show every profile of every door that may be found in Woodhall Spa. Furthermore internal profiles are not a planning matter other than how they affect the overall appearance, size and proportions of the door externally.

## **Painted timber and part glazed external doors**

- 2.3. ELDC LDO Drawing No.3. shows traditional painted timber and part glazed, external doors and frames. The use of the joinery details shown in ELDC LDO Drawing No.3 is only permitted for use in the openings of buildings which have or originally had a traditional painted timber, and/or part glazed external door and frame as illustrated on the drawing. That is to say it is not intended that a door be replaced with a door on the drawings appended to the LDO if this would not be historically accurate.
- 2.4. The replacement traditional painted timber and/or part glazed, external doors and frames shall be an exact copy of the door which exists or originally existed in the opening of the building and shall be constructed as illustrated in ELDC LDO Drawing No.3 to ensure the external appearance of the existing or originally existing door is an authentic copy (allowing for the actual size, scale and proportions of the opening and door.).

## **Porches**

- 2.5. The LDO does not permit the installation or upgrading of doors which enclose the entrance to what are, or were originally, open porches and/or verandas. Open porches and verandas are distinctive features of many of the late C19/early C20 houses in the



conservation area. They often have decorative tiled walls and/or floors and are highly desirable, providing a sheltered refuge for occupants and visitors alike eager to escape wind and rain before entering the house.

- 2.6. The LDO does permit the removal of doors and other directly associated fixtures which enclose the entrance to what was originally an open porch provided the entrance and any damaged original features within the porch are made good in materials which exactly match the construction, appearance, profiles and dimensions of the original open porch.
- 2.7. Changes to the shape and size of door openings in any external wall or on any other vertical surface of any building are only permitted where such work is necessary to reinstate the original shape and size of the door.
- 2.8. This will primarily affect brick and other masonry walls. All reinstated door openings shall be constructed to exactly match the original opening in terms of its appearance, materials, construction, shape and dimensions.
  - 2.8.1. In the case of door openings in brickwork, the size, colour and finish of the clay bricks, the coursing, pattern and bond of the external brickwork and the mortar mix, finished colour and appearance of the mortar, must exactly match the original brickwork and mortar.
  - 2.8.2. All heads/lintels over the exterior of the door opening and all door steps/thresholds shall exactly match the construction, dimensions, profile, materials and appearance of the original door head and step/threshold.
  - 2.8.3. In the case of doors in other external walls other than brickwork, such as render (smooth or roughcast) or exposed (decorative or structural) timber, the reinstated door opening shall exactly match the construction, dimensions, profile, materials, finish and appearance of the original opening.

## **Finish**

- 2.9. All external timber, ironwork and previously painted panels shall be painted using an appropriate exterior paint which respects the age and character of the property and preserves or enhances the appearance & character of the conservation area.
- 2.10. As a guide, old photographs suggest that originally darker shades and colours were popular for painted surfaces. However, very early in the C20, the colours which predominate today, and have become characteristic of the conservation area, namely black for doors, timber frames, barge boards, railings, rainwater goods etc and white for windows, infill panels, porches, verandas, balustrading, fascias, decorative features and even some doors, gates and bargeboards, was becoming commonplace.



## **Thermal Improvements**

- 2.11. If the doors can accommodate improvements to their thermal performance, such as draught-proofing seals and thin double glazing, this can be integrated in accordance with ELDC LDO Drawing No.4 only provided the external appearance of the door is not altered as a result.
- 2.12. NOTE: Draught-proofing seals can be fitted to most doors whereas the slim double glazing, no more than 10 - 12mm thick overall, including the glass and sealed units, is easier to install without altering the external appearance of the door where there are no glazing bars or leaded lights.

## **Roofs**

### **3. Schedule 2 Part C – The replacement of the roof on any building.**

- 3.1. The LDO permits the replacement or alteration of the roof on any building which reinstates (enhances) or preserves the original appearance of the building.

## **Welsh Slate**

- 3.2. Where the original or existing roof covering is Welsh slate or another matching UK natural slate, the LDO permits the use of natural Welsh slate or any other matching UK slate which exactly matches the original roofing material in terms of colour, appearance, dimensions, thickness and finish.
- 3.3. Where a conjoined (neighbour's) roof has been altered there are clearly economies to be made by reinstating conjoined roofs at the same time. However, where this is not possible and a conjoined roof has been reroofed in a different material to that permitted, the junction between the slate roof to be reinstated and existing conjoined roof should be made weather proof by use of a concealed 'secret' lead gutter, constructed in accordance with the specification recommended by the Lead Sheet Association.
- 3.4. Note also that you may need to seek the approval of the owner of the conjoined roof for any works at the junction of the roofs. This LDO can only grant required permissions under the planning regime and it does not purport to deal with any other legal regime under which you may also need permission.

## **Red Plain Clay Tiles**

- 3.5. Where the original or existing roof covering is natural red, non-interlocking, plain clay tiles, the LDO permits reroofing using natural red non-interlocking plain clay tiles which exactly match the original roofing material in terms of the original colour, appearance, dimensions, thickness and finish.
- 3.6. Where a conjoined (neighbour's) roof has been altered there are clearly economies to be made by reinstating conjoined roofs at the same time. However, where this is not possible and a conjoined roof has been reroofed in another material to that permitted,

the junction between the plain clay tile roof to be reinstated and existing conjoined roof should be made weather proof by use of a concealed 'secret' lead gutter, constructed in accordance with the specification recommended by the Lead Sheet Association.

- 3.7. Note also that you may need to seek the approval of the owner of the conjoined roof for any works at the junction of the roofs. This LDO can only grant required permissions under the planning regime and it does not purport to deal with any other legal regime under which you may also need permission.
- 3.8. Reroofing is only permitted in the above circumstances provided all eaves and verges are constructed in a manner that preserves the materials, appearance, construction and finish of the original eaves and verges or provided all eaves and verges are reinstated to exactly match the materials, appearance, construction and finish of the original eaves and verges.
- 3.9. Reroofing is only permitted in the above circumstances provided all abutments, valleys, parapet gutters and other junctions in or between the roof and other elements of the building and/or conjoined buildings are made weather-tight in leadwork constructed in accordance with the specification recommended by the Lead Sheet Association.

## **Rainwater Goods**

### **4. Schedule 2 Part D – The replacement or installation of rainwater goods**

- 4.1. The LDO permits the replacement or installation of Rainwater Goods which reinstate (enhance) or preserve the original appearance of the building.
- 4.2. Rainwater goods are or were cast iron. The LDO permits the renewal or reinstatement of rainwater goods with cast iron or cast aluminium rainwater goods which exactly match the original cast rainwater goods in terms of profile and appearance.
- 4.3. All external timber, ironwork and previously painted panels shall be painted using an appropriate exterior paint which respects the age and character of the property and preserves or enhances the appearance & character of the conservation area.
- 4.4. As a guide, old photographs suggest that originally darker shades and colours were popular for painted surfaces. However, very early in the C20, the colours which predominate today, and have become characteristic of the conservation area, namely black for doors, timber frames, barge boards, railings, rainwater goods etc and white for windows, infill panels, porches, verandas, balustrading, fascias, decorative features and even some doors, gates and bargeboards, was becoming commonplace.
- 4.5. Rainwater gutters are half-round or ogee in shape and fixed by brackets to fascia boards or rafter feet. The brackets and fascia boards shall be painted the same colour.
- 4.6. Additional cast iron or cast aluminium downpipes and/or slightly larger diameter downpipes are permitted, if desirable, to cope with heavy rainfall provided any additional or larger diameter down pipes are not located on any principal elevation and provided



they do not cut through or obscure or are fixed to any significant or distinctive architectural feature the building may possess.

## **Boundary Features**

### **5. Hedges**

- 5.1. The Article 4 direction removes the general ability to erect, construct, maintain, improve or otherwise alter a gate, fence, wall or other means of enclosure in Woodhall Spa apart from a small number of specific properties along Witham Road and The Broadway. This is because most other boundaries around historic buildings in Woodhall Spa are hedges.
- 5.2. Hedges are a significant feature of the conservation area and they combine with generous verges and roadside trees to assimilate the buildings and give Woodhall Spa it's soft, verdant and distinctive character.
- 5.3. Parts E – I give back a right to mark the boundary of certain specified properties where it is historically appropriate (such as the completion of a row of historic iron railings).
- 5.4. The general approach to boundary markings historically in Woodhall is by planting hedges. Planting hedges along a boundary does not require planning permission so there is no need to re-introduce a permitted development right in this LDO as such. Therefore if your property is not one of the specified properties at Parts E – I the only means you have, without making a formal planning application, to mark the boundary is to re-plant a hedge.
- 5.5. Hedges in Woodhall Spa often comprise only one species of plant. This can make hedges aesthetically pleasing and easier to maintain. For single species hedges the Council recommends the use of the following hedge species:
  - 5.5.1. Privet (*Ligustrum vulgare*),
  - 5.5.2. Beech (*Fagus sylvatica*),
  - 5.5.3. Hawthorn (*Crataegus monogyna*), or
  - 5.5.4. Laurel (*Prunus sp.*).
- 5.6. However the Council also recognise that enhancing species diversity is an important aspect of increasing our resilience to the uncertainty associated with climate change and to reduce the risk from pests or pathogens. We include below a variety of species which can enhance that resilience.
  - 5.6.1. 60% Hawthorn (*Crataegus monogyna*)
  - 5.6.2. 10% Blackthorn (*Prunus spinosa*)
  - 5.6.3. 10% Holly (*Ilex aquifolium*)
  - 5.6.4. 10% Hazel (*Corylus avellana*)
  - 5.6.5. 05% Guelder Rose (*Viburnum opulus*)
  - 5.6.6. 05% Field Maple (*Acer campestre*)



6. **Schedule 2 Part E – The erection or installation along the boundary of the principal elevation at No’s. 1, 2, 3, 4, 5, 6, 7 or 8 Cornwall Terrace, Tattershall Road and at Frieston House 1 Victoria Street, Woodhall Spa of an iron gate and concrete gate posts.**

- 6.1. The LDO permits the erection, installation, maintenance or improvement along the boundary of No, 1, 2, 3, 4, 5, 6, 7 or 8 Cornwall Terrace, Tattershall Road and at Frieston House 1 Victoria Street, Woodhall Spa by the installation or replacement of a single gate and gate posts in accordance with ELDC LDO Drawing No.5 only.
- 6.2. All these properties have hedges along what are their front gardens and the Council does not want to lose or encourage the loss of the hedges. Some owners have let their hedges grow high for privacy as this is their sunny side and this is not an issue. However, the privacy issue is also what has prompted some to remove their (low and open) Adolphus Came gates and replace them with high close boarded gates. It is for this reason the LDO specifically does not apply to allow any other means of enclosure to be installed, just the addition of, or change back to the Adolphus Came gate shown in ELDC LDO Drawing No.5.

### **Finish**

- 6.3. The gate shall be constructed in accordance with ELDC LDO Drawing No.5 only and shall be made in cast iron or galvanised mild steel only.
- 6.4. The gate shall be finished either white or black paint.
7. **Schedule 2 Part F – The erection or installation along the roadside boundary of the principal elevation at No’s. 9 and 11 Witham Road, Woodhall Spa of a wall with iron railings and of an iron garden gate.**

- 7.1. The LDO permits the erection, installation, maintenance or improvement along the roadside boundary of the principal elevation of No’s 9 and 11 Witham Road, Woodhall Spa by the installation or replacement of a red brick wall with stone coping and iron railings and/or by the installation or replacement of an iron gate and iron posts in accordance with ELDC LDO Illustration 6 (a, b, & c) only.

### **Specification**

- 7.2. The wall shall be constructed of 3 inch imperial red bricks to match the colour, shape, size and appearance of the existing bricks and built in English Garden Wall bond using traditional lime mortar with joints between 6 and 8mm wide and stippled back to leave a slightly recessed finish.
- 7.2.1. The wall shall be no higher than 380mm (excluding the coping) at its highest point and shall be capped with a rectangular natural sandstone coping 300mm wide at the base, 100mm high, its top two corners slightly rounded to leave a largely flat top into which the railings are leaded.

- 7.2.2. The wall shall be constructed to match ELDC LDO Illustration No.6 (a & b).
- 7.2.3. The railings shall be made in cast iron or galvanised mild steel only and shall be made to the pattern, dimensions and appearance of the railings shown in ELDC LDO Illustration No. 6 (a & b) only and be no higher than 585 mm from the sandstone coping to the top of the finial
- 7.2.4. The gate shall be made in cast iron or galvanised mild steel to the pattern, dimensions and appearance of the gate shown in ELDC LDO Illustration No.6c only and be no higher than 1210 high and 950mm wide and have supporting cast iron or galvanised mild steel posts no higher than 1280mm high measured from ground level to the top of the post.
- 7.2.5. The railings and gate shall be finished with black paint only.
8. **Schedule 2 Part G – The erection or installation along the roadside boundary of the principal elevation at No’s. 15, 17, 19, 21 and 23 Witham Road, Woodhall Spa of a wall with iron railings and iron gates.**
- 8.1. The LDO permits the erection, installation, maintenance or improvement along the roadside boundary of the principal elevation of No’s 15, 17, 19, 21 and 23 Witham Road, Woodhall Spa by the installation or replacement of a red brick wall with stone coping and iron railings and/or by the installation or replacement of an iron gate and iron posts in accordance with ELDC LDO Illustration No.7 (a, b, & c) only.
- 8.2. Nos 21 & 23 have had their front wall, iron gate and railings removed and the front garden turned into a hard standing. There is an opportunity here to reinstate the front garden, wall, iron railings and gate based on the surviving section of railings at Nos.15 – 19; this part of the LDO also allows Nos. 15 – 19 to maintain what is there at the moment.

### **Specification**

- 8.3. The wall shall be constructed of 3 inch imperial red bricks to match the colour, shape, size and appearance of the existing bricks and built in Flemish bond using traditional lime mortar with joints between 6 and 8mm wide and stippled back to leave a slightly recessed finish.
- 8.3.1. The wall shall be no higher than 480mm (excluding the coping) at its highest point and shall be capped with a double cant natural sandstone coping 300mm wide at the base, 95mm high and canted (angled) at 45 degrees on both sides leaving a flat top of 180mm into which the railings are leaded.
- 8.3.2. The wall shall be constructed to match ELDC LDO Illustration No.7 (a & b).
- 8.3.3. The railings shall be made in cast iron or galvanised mild steel only and shall be made to the pattern, dimensions and appearance of the railings shown in ELDC LDO



Illustration No.7b only and be no higher than 635mm from the sandstone coping to the top of the finial.

8.3.4. The gate shall be made in cast iron or galvanised mild steel to the pattern, dimensions and appearance of the gate shown in ELDC LDO Illustration No.7(c) only and be no higher than 1270 high and 860mm wide and have supporting cast iron or galvanised mild steel posts no higher than 1450 high measured from ground level to the top of the post.

8.3.5. The railings and gates shall be finished with black paint only.

9. **Schedule 2 Part H – The erection or installation along the roadside boundary of the principal elevation at Nos. 37 & 39 Witham Road, Woodhall Spa of a wall with iron railings and of an iron gate.**

9.1. The LDO permits the erection, installation, maintenance or improvement along the roadside boundary of the principal elevation of No's 37 & 39 Witham Road, Woodhall Spa by the installation or replacement of a red brick wall with stone coping and iron railings and/or by the installation or replacement of an iron gate and iron posts in accordance with ELDC LDO Illustration No.8 (a & b) only.

9.2. No 37 has had its wall, iron gate and railings removed and replaced by a brick wall. No 39 no longer has an iron gate and its stone coping and ornate iron railings sit very low to the footway. There is an opportunity here to reinstate a traditional wall, iron railings and gates at No. 37 based on the surviving section of railings at No.39 and to raise the height of the wall and stone coping and to restore the iron railings and gate based on the surviving pattern at No.39.

### **Specification**

9.3. The walls shall be constructed of 3 inch red bricks to match the colour, shape, size and appearance of the existing bricks at No.39 and built in English Garden Wall bond using traditional lime mortar with joints between 8 - 10mm wide and stippled back to leave a slightly recessed finish.

9.3.1. The walls shall be no higher than 500mm at their highest point (excluding the stone coping) and shall be capped with rectangular natural sandstone copings 300mm wide, 90mm high and between 700 and 900mm long as necessary.

9.3.2. The wall shall be constructed in English Garden wall bond.

9.3.3. The railings shall be made in cast iron or galvanised mild steel only and shall be based on the pattern, dimensions and appearance of the railings shown in ELDC LDO Illustration No.8 (a & b) only and be no higher than 530mm from the sandstone coping to the top of the finial.

9.3.4. The gates shall be made in cast iron or galvanised mild steel and incorporate the pattern, dimensions and appearance of the railings shown in ELDC LDO photograph



No.8 (a & b) and have regard to the pattern of the gate at Nos. 9 and 11 Witham Road. The gates shall not need be any higher than 1210mm and 950mm wide and have supporting cast iron or galvanised mild steel posts no higher than 1280mm high measured from ground level to the top of the post.

9.3.5. The railings and gate shall be finished with black paint only.

10. **Schedule 2 Part I – The erection or installation along the roadside boundary of the principal elevation at No's. 47 (Hawthorns) Witham Road, Woodhall Spa of a wall with iron railings and of an iron garden gate with iron posts.**

10.1. The LDO permits the erection, installation, maintenance or improvement along the roadside boundary of the principal elevation of No.47 Witham Road, Woodhall Spa by the installation or replacement of a red brick wall with angular blue clay coping and iron railings and/or by the installation or replacement of an iron gate and iron posts in accordance with ELDC LDO Illustration 9 (a, b, & c) only.

### **Specification**

10.2. The wall shall be constructed of 3 inch imperial red bricks to match the colour, shape, size and appearance of the existing bricks and built in English Garden Wall bond bond using traditional lime mortar with joints between 6 and 10mm wide and stippled back to leave a slightly recessed finish.

10.2.1. The wall shall be no higher than 400mm at its highest point excluding the coping and shall be capped with an angular double cant blue clay coping 300mm wide at the base, 95mm high and canted (angled) at approximately 25 degrees on both sides.

10.2.2. The wall shall be constructed to match ELDC LDO Illustration No. 9 (a & c).

10.2.3. The railings shall be made in cast iron or galvanised mild steel only and shall be made to the pattern, dimensions and appearance of the railings shown in ELDC LDO photograph No.9 (a & b), only and be no higher than 560mm from the apex of the coping to the top of the finial.

10.2.4. The gate shall be made in cast iron or galvanised mild steel to the pattern, dimensions and appearance of the gate shown in ELDC LDO photograph No.9 (c) only and be no higher than 1100mm high and 945mm wide and have supporting cast iron or galvanised mild steel posts no higher than 12450 high measured from ground level to the top of the post.

10.2.5. The railings and gate shall be finished with black paint only.

**END of LDO**

## **IMPORTANT**

**If you are proceeding with development in accordance with the provisions of the Woodhall Spa Conservation Area Local Development Order, please complete and submit to the Council the monitoring form at Annex A.**

**Your cooperation will help the Council monitor the take-up and effectiveness of the Local Development Order.**

**If shown to be successful it may encourage the Council to grant more permitted development.**

For office use only  
Reference number



**ANNEX A**

**Monitoring Form**

**Woodhall Spa Conservation Area Local Development Order**

This form allows the Council to monitor the effectiveness and take up of the Local Development Order for Woodhall Spa. We would ask that you please complete it and send it to the address below. If you wish the Council to write confirming that your proposed works are in compliance with the Woodhall Spa Local Development Order then there will be a charge for this service and the relevant form can be found on the Council's website at [www.e-lindsey.gov.uk/article/6076/Altering-a-House-](http://www.e-lindsey.gov.uk/article/6076/Altering-a-House-)

**1. Applicants name and contact details**

Full Name: Mr/Mrs/Miss/Ms.....

Address:.....  
.....

Postcode:.....

Daytime telephone number(s) .....

Email:.....

**2. Agents name and contact details (if applicable)**

Full Name: Mr/Mrs/Miss/Ms.....

Address:.....  
.....

Postcode:.....

Daytime telephone number(s) .....

Email:.....



**3. Address of property where works are to be carried out (if different from above)**

Address:.....

.....

Postcode: .....

**3. Description of proposed works to be carried out and permitted under the Order**

.....  
.....  
.....  
.....

**4. Please quote the Part or Parts of Schedule 2 of the Order which permit the proposed works**

Schedule 2 Part (s).....

**5. Have you checked what is not permitted under the above Part(s)?.....YES/NO**

**6. Have you checked the conditions that apply to the above Part(s)?.....YES/NO**

**7. When do you hope to start the work?.....**

Finally, please attach a photograph (or photographs) showing the whole of the front or side or rear (as appropriate) of your building that will be affected by the permitted development. This will help monitor the effectiveness of the Order and may justify more permitted development in the future.

Signed:..... Date:.....

Thank you for completing the Monitoring Form.

You can post or email the form to the addresses below or hand it in at our Planning Reception at the address below.

Post to: East Lindsey District Council, Planning Department, Tedder Hall, Manby Park, Louth Lincolnshire LN11 8UP

Email to: [development.control@e-lindsey.gov.uk](mailto:development.control@e-lindsey.gov.uk)

If you need any help completing this form please contact the Planning Duty Officer on 01507 613175 or 613176 during normal office hours.

East Lindsey District Council is a Data Controller and can be contacted at the above address. The Data Protection Officer is Alison Sparks who can be contacted at the above address or on 01507 613409.

We are collecting your personal data (name and contact details) and permitted development data in order to monitor development under the Woodhall Spa Local Development Order which falls under Planning Legislation and is part of our Public Task.

Your personal data will not be shared with third parties but may be used for Council purposes, in order to prevent or detect crime, to protect public funds or where we are required or permitted to share data under other legislation.

We will keep your data for 4 years in line with the Council's retention policy.

You have the right to access the data we hold about you and to rectify, erase, restrict or move your data in certain circumstances. For more information on your rights please go to our website where your rights are explained in more detail. If you would like to receive an explanation of your rights in paper format then please contact the Data Protection Officer.

Any complaints regarding your personal data should be addressed to the Data Protection Officer in the first instance. If the matter cannot be resolved you can contact the Information Commissioner's Office at: Wycliffe House, Water Lane, Wilmslow, Cheshire, SK9 5AF Tel: 0303 123 1113.

For further information about our data protection policies please go to our website.

*Failure to ensure any types of development set out in Schedule 2 of the Woodhall Spa Local Development Order are permitted having regard for the relevant exceptions, limitations or conditions may result in enforcement action being taken if the works carried out are considered to harm the appearance or character of the conservation area. It is therefore important that if you are unsure that you seek professional advice before undertaking any works.*